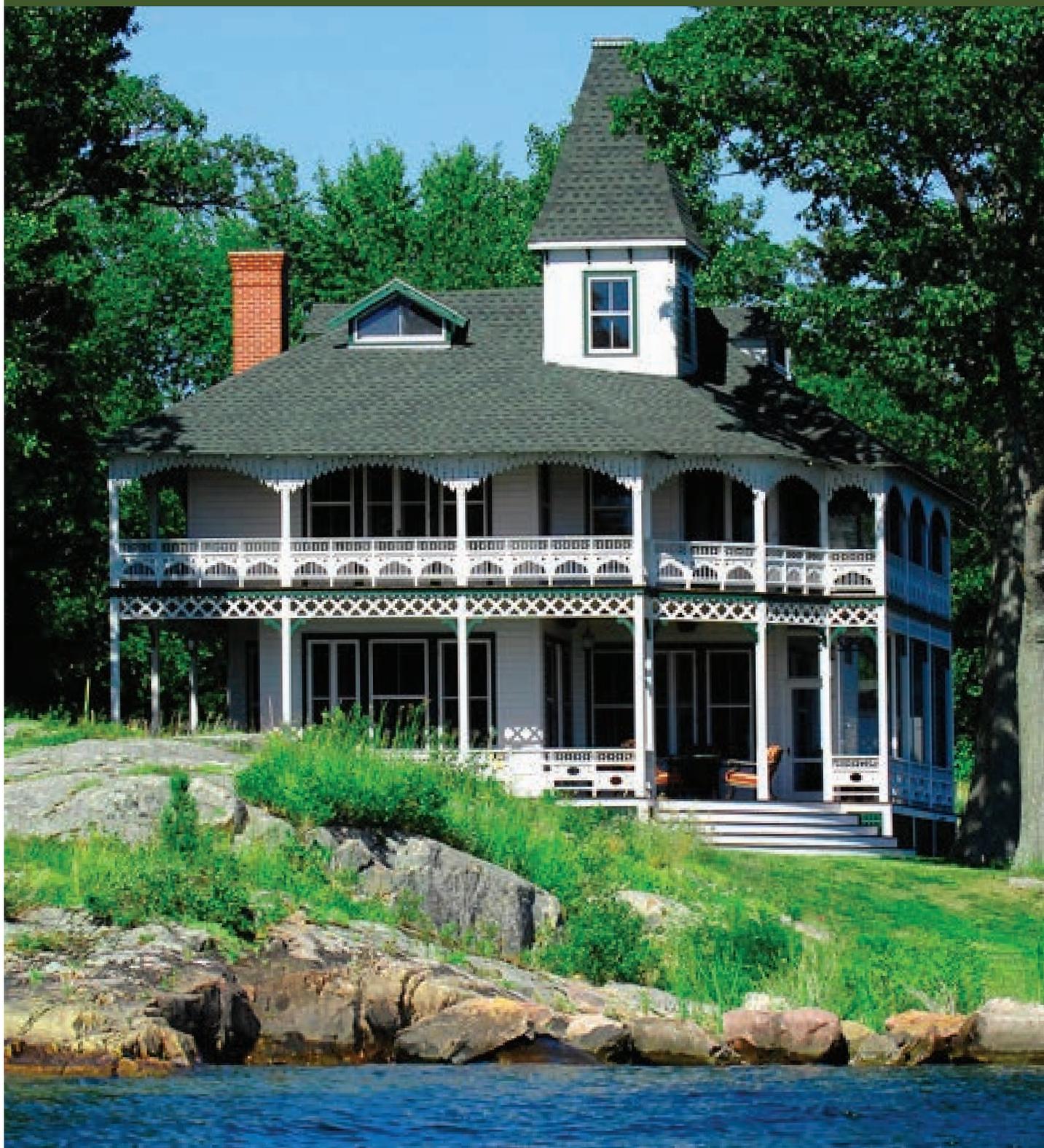


Thousand Island Park Historic Preservation Handbook
Construction and Renovation Guidelines
for Cottage Owners, Architects,
Designers, and Contractors



The Purpose and Use of This Handbook

Thousand Island Park, a privately held corporation sited on the southwestern end of Wellesley Island in the Thousand Islands region, was founded in 1875 as a Methodist Camp Meeting Association. There are more than 325 late 19th- and early 20th-century buildings, the majority of which are summer cottages. The entire Park, including its public and private structures, was listed on the State and Federal National Register of Historic Places in 1982 as an historic district. The not-for-profit Thousand Island Park Landmark Society and the corporate-appointed Preservation and Architectural Review Board are dedicated to the protection of the Park's architecture and history.

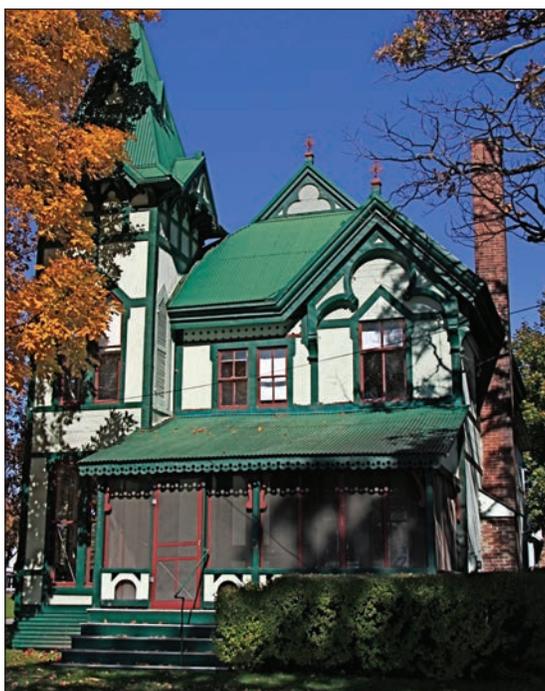
Throughout the 19th century, Methodist camp meetings, "woodland revivals" lasting several days, spread over our continent. These tented villages in the wilderness often became permanent communities with specialized building types and particular characteristics. The communities were planned and built with several sets of unique forms and architecture which created a magical environment — a work of art. This is Thousand Island Park.

To retain its status on the National Register of Historic Places, in 1987 the Thousand Island Park Corporation adopted zoning and preservation regulations that ensure that the distinctive and historic character of the Park will be maintained. The Preservation and Architectural Review Board reviews all applications for alterations, additions, and new construction.

This visual handbook is intended for use by cottage owners, architects, designers, and contractors to serve as an informational guide in the application process and to help explain the existing Preservation Code and Land Use Regulations. Over the years, it has become evident that a more graphic presentation of the principles involved in selecting what is, or is not, appropriate would be useful in the application process. The intent is to help those planning and designing projects to understand what is expected, and to ensure that the Board is making decisions in an objective and consistent manner.

The Handbook begins with a brief summary of the prevailing building types and styles found on Thousand Island Park, accompanied by a description of their characteristic elements. This information will help owners and contractors in determining the importance of retaining or replacing those elements that define the structure. The Landmark Society or members of the Preservation and Architectural Review Board can assist in identifying the style of the cottage and the zoning area. It is important to note that much of the architecture of Thousand Island Park may be characterized as "vernacular" — traditionally built by local artisans or craftsmen in a mixture of architectural styles and often with elements borrowed from various architectural periods.

These preservation and renovation guidelines offer general principles for rehabilitation and new construction, as well as specific details on such issues as siding, roofing, windows and doors, porches, etc. It should be remembered that the guidelines are not hard and fast rules, but a helpful direction for the proper treatment of the community's historic structures. Preserving the best of the past while allowing for our community's changing needs is a balancing act that requires the cooperation of all those involved. It can be accomplished by the informed goodwill of owners, architects, and contractors, and with the expertise and good judgment of the Preservation and Architectural Review Board.



"Iron Cottage,"
Corner of
East Coast and
United States

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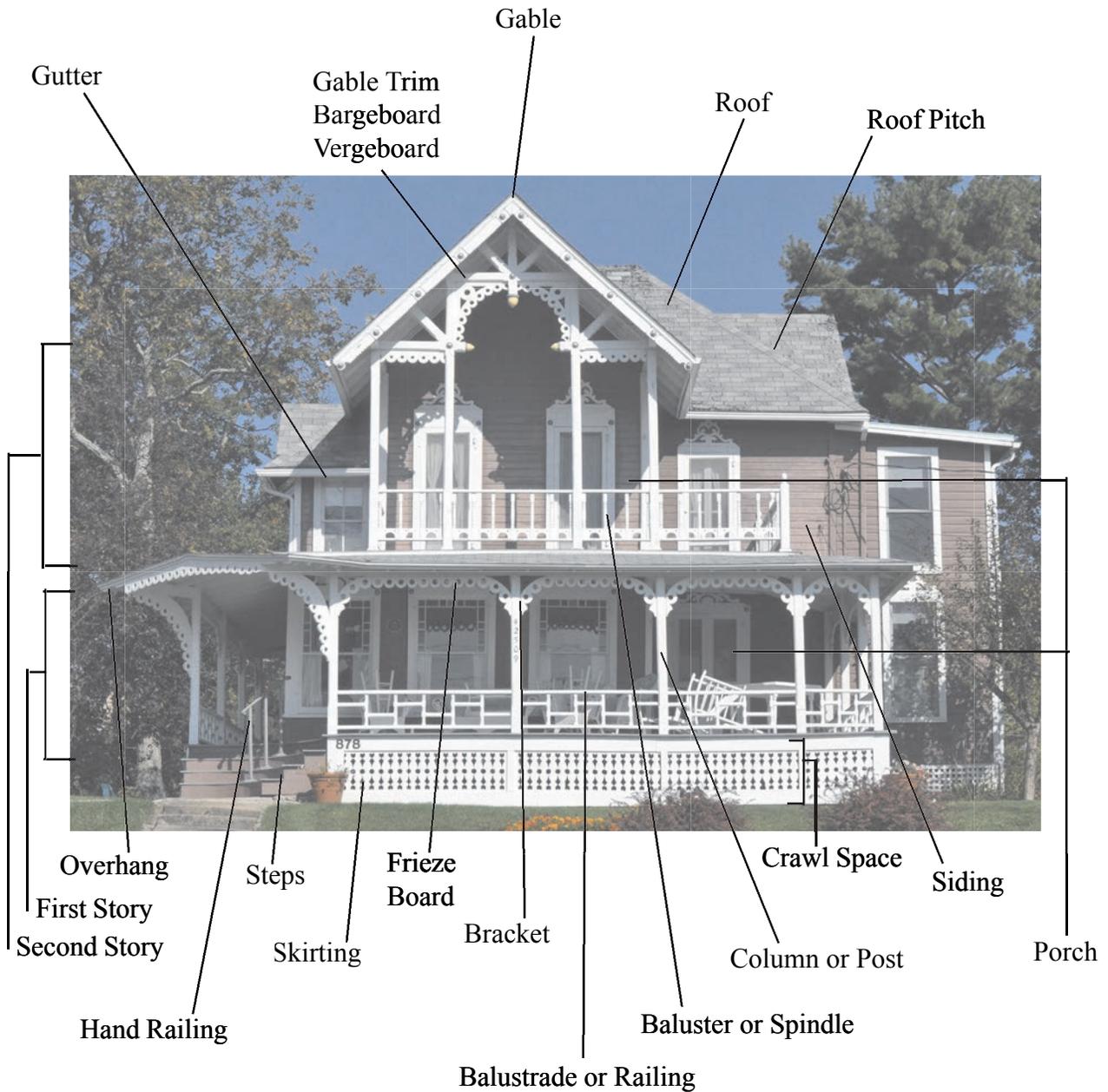
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Visual Glossary of Architectural Terms

Architectural Elements

This Eastlake style cottage depicts architectural elements that may be common to the cottage styles found in Thousand Island Park.



Front Elevation

Tent Platform/Early Campground

The oldest architecture in the Park was derived directly from the Camp Meeting tradition. On leased lots, families at first summured in their tents and later built cottages. The sizing of the lots for tent platforms, and the fact that all materials had to be brought in by boat or across the ice in the winter, resulted in a rather unique combination of building styles and materials. In the earliest days, if one wanted more than a tent on a platform, more permanent construction could begin, but it was only a wooden-front façade with canvas sides. From these modest beginnings, sides were added, and then sometimes even windows, doors, porches, and additions. Construction often used scrap materials from packing crates, portions of which can still be found in some of the current cottages.

The community developed the Early Campground cottage from these initial structures of rectangular canvas tents over wood frames and platforms with later adaptations, including additions of doors and windows seasonally connected with canvas.

Most of the buildings fall into categories which are derivatives of the Campground cottage style. This is one of the earliest examples, dating from the 1870s-1890.

While many have outjutting later additions, the earliest Campground cottages in

Thousand Island Park clearly show the original Tent Platform foundation. The cottages consist of one, one and a half, or two stories, with the main shape of a "T." Eaves come halfway down the second story, with a gabled-end roof with the ridge facing the street. There is a porch across the front, which in these earliest cottages was treated as a "piazza," with steps across the full width of the porch to make it an extension of the ground plane. A second-story porch provided for more jigsaw-produced ornamentation, particularly in the triangular space formed by the gable.



Corner of Ontario and Rainbow

An original Tent Platform structure dating back to approximately 1876.



Tent Platform/Early Campground



Intersection of St. Lawrence and Headland



Corner of Garden and Oak



Corner of St. Lawrence and Paradise



Corner of United States and Paradise

General Characteristics

- Simple massing — rectangular box, L, or T-shaped
- Parlor extending forward to porch/es
- Strong vertical emphasis, especially windows and doors
- Clad with cove siding, board and batten, or vertical tongue-and-groove boards
- Roofs with steeply-pitched gable, often flared and with cross gables
- Elaborate decoration on vergeboards, porch spandrels, and railings
- Upper and lower porches, always across front, sometimes wrapped around one or both sides, and supported on thin square or turned columns
- Ornamented with jigsaw “filigree” or turnings
- Window and door openings: hooded, arched, or topped with pediment heads
- Windows: rectangular or arched, 2/2 sash, and often floor-length to porches
- Doors: often double, with heads matching windows

Tent Platform/Early Campground Elements



Cottage-specific Elements — see preceding pages for locations



Miscellaneous Typical Elements



Tent Platform/Early Campground Elements



Cottage-specific Elements — see preceding pages for locations



Miscellaneous Typical Elements



Later Campground/Eastlake



The Eastlake style is the most pervasive of the later Campground variety on Thousand Island Park. Though the basic design of the cottage does not vary greatly from the earlier Campground cottage, it is covered with far more decorative trim.

The decorative Eastlake style was named for Charles Lock Eastlake (1833-1906), an English furniture designer known for his use of elaborate ornamentation which is duplicated in the architectural elements bearing his name. Eastlake detailing consists of assorted knobs, spindles and what is called gingerbread on the gables and porches which are most closely associated with TIP Park.

The composition of these cottages is vertical and asymmetrical. They are especially defined by a steeply-pitched gable roof, cross-gables, and large porches or verandas.

Ornamentation includes simple but oversized corner posts, roof rafters, braces, brackets, porch posts, and railings. Perforated gables and pediments with carved panels are distinguishing features.

Elements of the Eastlake-style ornamentation were often produced on a mechanical lathe to produce its light and fanciful effect.



Corner of Headland and Rainbow West

Later Campground/Eastlake



St. Lawrence between Chapel and Tabernacle



Prospect Point



East Coast opposite Cove



West Coast on Crystal Bay

General Characteristics

- Verticality with asymmetrical composition
- Steeply pitched and intersecting gable roofs
- Overhanging eaves with projecting bays or towers and large porches or verandas
- Cove siding with applied decoration
- Simple but oversized ornamental corner posts, roof rafters, brackets, braces, porch posts, and railings
- Window and door openings surrounded with plain planks, sometimes continued to form belt courses across the façade
- Ornamentation often worked on a mechanical lathe to produce light, fanciful decoration
- Perforated gables, pediments, and carved panels
- Profusion of spindles, spool-like balusters, curved brackets, turned posts with knobs, and lattice work
- Lattice-like porch base with cut-out pattern between porch balusters
- Windows: rectangular, 2/2 sash, tall proportions
- Doors: rectangular, often with glazed upper portion

Later Campground/Eastlake Elements



Cottage-specific Elements — see preceding pages for locations



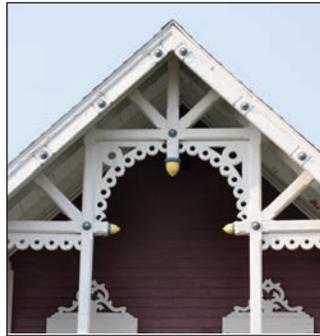
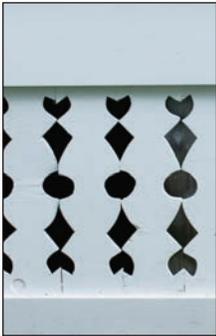
Miscellaneous Typical Elements



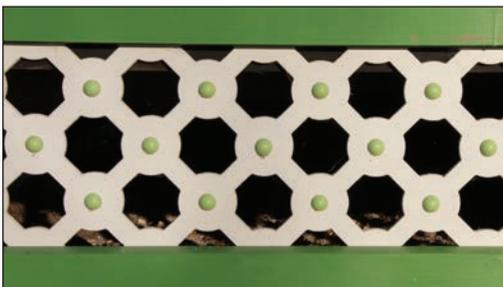
Later Campground/Eastlake Elements



Cottage-specific Elements — see preceding pages for locations



Miscellaneous Typical Elements



Queen Anne



The Queen Anne style has the irregular massing and geometric forms of the Shingle style, but combines them with greater decorative elements. Architectural elements include towers, turrets, projecting pavilions, porches, bays, and encircling verandas. Textured wall surfaces are at times complemented by colored glass panels in the windows. There is also a more simplified version of the style in which an irregular roof line, tower, or patterned shingling may be the only distinguishing feature.

This style demonstrates a change in taste from a more vertical style to a more horizontal, volumetric composition. It features projecting bay windows, multiple balconies, and a tower with a prominent bell-shaped roof. The asymmetrical façade with the front porch covering the first story is a classic feature of the Queen Anne style.

It should be noted that in the Park, as elsewhere in America, the Shingle and Queen Anne styles were combined into a hybrid form. The result is that many cottages show characteristics of each style. The predominant features should be used to select which style the cottage fits when planning repairs or renovations.



Star between Rainbow and West Coast

Queen Anne



East Coast opposite Cove



Corner of West Coast and Union



Corner of West Coast and Island



Corner of West Coast and Ontario

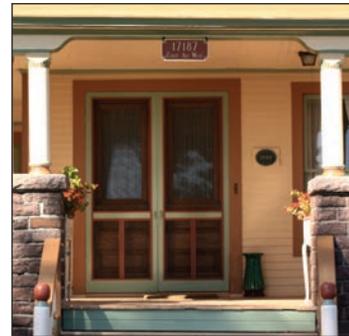
General Characteristics

- Irregular massing, combining several forms with many projecting elements
- Façade usually vertical with prominent chimneys
- Siding materials and patterns varied: horizontal siding, fish scale or diagonal pattern shingles and carved wood panels, board and batten
- Roofs steeply pitched, multi-planed with projecting dormers and multiple gables
- Round towers and round bays with conical, pyramidal, domed, or bell-shaped roofs
- Elaborate cornice or vergeboards at eaves
- Often flared second story with shingle siding
- Porches usually full-width or encircling, with elaborately turned posts with sawn or turned spandrel brackets, and sawn, turned, or spindle railings
- Swags, webs and flowers as popular decorative motifs
- Window and door openings: simple plank frames, sometimes with crown moldings
- Windows: rectangular, sometimes grouped 1/1 sash or multi-paned/1, often bordered with small square colored lights, stained glass transoms
- Doors: rectangular, usually with glazed upper portion

Queen Anne Elements



Cottage-specific Elements — see preceding pages for locations



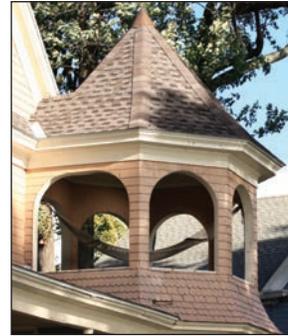
Miscellaneous Typical Elements



Queen Anne Elements



Cottage-specific Elements — see preceding pages for locations



Miscellaneous Typical Elements



Shingle Style



The Shingle Style cottage combines the renewed interest in Colonial American architecture with English influence. It represents a radical change from the lacier, spindly work of the preceding decade.

This style is a uniquely American form of proto-modern architectural expression that began in the early 1880s on the Atlantic seaboard and then spread inland throughout the country. The style's name derives from a building's taut skin clad with cedar shingles. It is a picturesque blend of asymmetrical geometric forms that are accented with plain classical and colonial details. The overall effect of the Shingle Style is a sense of the cottage as continuous volume and monumental solidity. The interiors have open plans that create a fluid sense of interior space versus traditional compartmentalized layouts.

The Shingle Style cottage, two or three stories tall, is typified by the uniform covering of wood shingles from roof to foundation walls appearing to be all one piece. The sweep of the roof is often steeply pitched and continues to the first-floor level to cover the porches. Casement or sash windows are usually small, and may have many panes.

In many cases, these cottages eschew the highly ornamented patterns of the Later Campground and Queen Anne style in favor of bolder simplicity.



East Coast opposite Cove

Shingle Style



Corner of Headland and Eden



Corner of Central and Rainbow East



Ontario near Eden



Corner of West Coast and Island

General Characteristics:

- Irregular massing of bold rectangular and/or rounded forms, yet with horizontal emphasis
- Shingle siding, usually square-butt, with at times areas of shaped shingles used for decorative effect
- Roof shingles of same materials as walls, usually irregular in shape, with intersecting gables which can also be gambreled
- Porches usually across only one story and forming an extension from the roof
- Two-story bays and round turrets
- Porch supports: simple columns, massive shingled piers, solid shingled parapet, or simple railing
- Minimal ornamentation
- Window and door openings: plain board surrounds
- Windows: rectangular with 1/1 or multi-pane/1 sash and often grouped in pairs horizontally
- Doors: relatively plain and usually single with glazed upper portion and possible sidelights
- Door and window groups may have transom windows above

Shingle Style Elements



Cottage-specific Elements — see preceding pages for locations



Miscellaneous Typical Elements



Shingle Style Elements



Cottage-specific Elements — see preceding pages for locations



Miscellaneous Typical Elements



Craftsman Bungalow

“Arts and Crafts” architecture evolved as a design trend reflecting the changes in early 20th-century society. Women in the expanding middle class did not have the luxury of grand homes and servants to maintain them, yet they aspired to become the “modern homemakers” depicted in the magazines of the day. The Craftsman Bungalow was designed to meet the functional needs and financial wherewithal of these first-time homeowners. It combined simplicity of form with economical use of local natural materials, while its emphasis on handicrafts and originality made it the latest fashionable trend in home design. The combination of simplicity and functionality made the Craftsman Bungalow a popular addition to the “easy living” seasonal community in Thousand Island Park and it became more prevalent after the fire of 1912.

The typical bungalow is a one, one-and-a half, or two-story house with gently pitched broad gables.

A lower gable covers an open or screened porch and a larger gable covers the main portion of the house. In larger examples, the gable is steeper, with intersecting cross gables or dormers. Rafters and ridge beams extend beyond the wall and roof. Wood shingles are the favorite exterior finish, although many cottages use

clapboard and some even feature concrete block construction. Porches across the front or projecting in front of the entrance remain focal points, maintaining the welcoming “piazza” tradition of the earliest cottages in the Park.



**Dominion near
United States**

Craftsman Bungalow



Headland between Oak and Prospect



Corner of Headland and Rainbow West



West Coast on Crystal Bay



Rainbow West between Bayview and Prospect

General Characteristics

- Façade horizontal in character, with simple box-like massing, broken by rectangular bay or projecting gabled entrance
- Second story shed dormers or dormers with gabled ends — all with lower pitch than main roof
- Clapboard or shingle siding, at times combined;
- Wide, overhanging eaves with exposed rafter tails and ridge beams, often with trussed supports
- Foundations: rubble native stone, occasionally concrete, or piers and lattice within a wooden frame
- Chimneys of rubble, stone, or brick
- Porches across front or projecting in front of the entrance supported on piers or short columns on piers; piers frequently shingled; simple railings or shingled parapet
- Window and door openings: simple surrounds; windows often grouped and may be of different sizes
- Windows: sash or casement, 1/1 and multi-pane/1;
- Doors: wholly or partly glazed, usually with small lights rather than single pane

Craftsman Bungalow Elements



Cottage-specific Elements — see preceding pages for locations



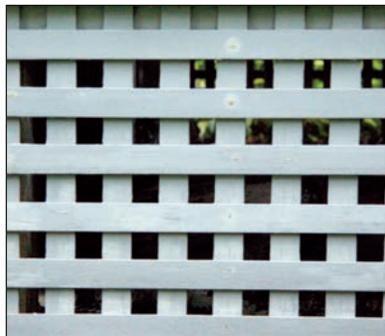
Miscellaneous Typical Elements



Craftsman Bungalow Elements



Cottage-specific Elements — see preceding pages for locations



Miscellaneous Typical Elements



New Construction, Renovations, and Additions



New: Corner of Wellesley and County Route 100



New: Prospect and Park



Renovation: West Coast near Island



Addition: Rainbow West and Bayview



Renovation: Prospect Point



Addition: Star between Rainbow and Coast

Before and Afters



Renovation: Ontario near Rainbow West



Original Cottage



Renovation: Oak and Headland



Original Cottage



New: Prospect on Crystal Bay



Original Cottage

Construction and Renovation Guidelines for Cottage Owners, Architects, Designers, and Contractors

OVERVIEW

The purpose of this handbook is to help define authentic architectural characteristics and visual relationships to preserve the historical integrity of the cottages, however hybrid they may be. This information will help owners and contractors determine the importance of retaining or replacing those elements which define the cottage itself. It is this care for the community that distinguishes it from many others, and has resulted in its designation as a National Register Historic District. This is a reference publication. In all circumstances, the Thousand Island Park Preservation Code and Land Use Regulations are the definitive regulations.

The Thousand Island Park Corporation and all cottage owners are stewards of the architectural history of the Park. The historic architecture gives a direct link to the evolution of Thousand Island Park. Its preservation enables future generations to understand the values of the first cottage owners as well as those of today. A cottage's layers tell stories to cherish as they show the passage of time and the hard work of the owners in preserving the Park's heritage. It is important to preserve these buildings which give pride and identity to this historic community.

When cottages start to deteriorate, repairing the existing structure and elements should always be the first option. When this is not possible, renovations should replicate the original, historically accurate elements, materials, and styles of the cottages. Additions should harmonize with the existing architectural scale, mass, and proportion. All work on cottages and public buildings should follow the Preservation Code standards, with final approvals granted by the Thousand Island Park Preservation and Architectural Review Board, herein referred to as the Preservation Board.

One of the main things to remember when looking at the Park is how its history has affected its development. On leased lots, families at first summered in tents and, later, in newly-built cottages. The sizing of the lots for tent platforms, and the fact that all materials had to be brought in by boat or across the ice in the winter, resulted in a rather unique combination of building styles and materials. In the earliest days, if one wanted more than a tent on a platform, more permanent construction could begin, but it was only a wood-front façade with canvas sides. From these modest beginnings, wood sides were added, followed by windows, doors, porches, roofs, and additions.

The scarcity of materials, and later reactions to the dangers of fire in the Park, made for some rather unique ad-hoc construction. As a tour of the Park will show, few of the cottages are of any "pure" style, since most have been added to or reduced over time. Each of these changes has added another layer of design characteristics to the cottages, often imparting as much aesthetic value as the original structure. In trying to decide on the style of a particular cottage, it is important to remember that changes have in all likelihood occurred, and that these stylistic additions shall also be considered when any new modifications are contemplated. The fabric of the Park is interwoven with its history.

When assessing each project and examining each cottage, it is important to remember that Victorian applies to an era, and not to a style. The popular use of all things "Victorian" has resulted in an abundance of "Victoriana" decorative elements which are often casually added to structures for decorative purposes only. In many style magazines, catalogues, and advertisements, we see elaborate building trim and decoration touted as the Victorian vision. Rarely is it explained that these elements are not suitable to most historic, original, Victorian-era structures, or that most of these elements would have been more appropriate to city homes rather than vacation cottages.

SITE PLANNING, NEW CONSTRUCTION, ADDITIONS, AND WINTERIZING

SITE PLANNING

Any exterior change in the Park shall take into account its visual impact. The following factors shall be considered by the applicant, as these factors are examined by the Preservation Board in assessing applications.

Rhythm of Spacing

The relationship of cottages to open spaces between them and the adjoining cottages shall be maintained. If new structures are to be of greater width, the design of the front façade shall be made to echo the neighboring cottages through projections, such as porches, bays, or towers.

Directional Expression of Front Façade

A cottage shall be compatible with the cottages it is adjacent to in its dimensional character, horizontal or vertical. This aspect of a cottage is established by several factors in addition to height and width — specifically roof face and pitch, placement of doors and windows, porches, and architectural detail.

Scale of Building

The size of a cottage shall be visually compatible with the surrounding cottages, open spaces, and resulting streetscape. The scale of the cottages in the Park is largely diminutive. These were summer cottages, or, in the case of some of the larger “cottages,” rooming houses or hotels. After the turn of the twentieth century, larger summer homes were constructed, especially along the coast. Currently, all cottages outside of the commercial area are for use as single-family, residential cottages only. Where current zoning allows cottages of greater scale than was historically constructed in the Park, design elements shall reduce the sense of mass and scale so that new construction is compatible with surrounding cottages.

Relationship of Materials and Texture

The materials and texture of the roof and envelope of the cottage shall be visually compatible with adjacent structures as well as the style of cottage. Most structures in the Park are of wood frame construction clad with cove siding, board and batten, or wood shingles. These materials are sometimes combined with a lower level of granite, which has a rougher texture. There are also a few cottages that are predominantly shingled as well as some that are entirely constructed of concrete block.

Rhythm of Entrance and/or Porch Projections

The relationship of entrances and porches to the street shall be compatible with neighboring cottages. Open porches generally extend across the entire façade, creating a semi-private layer between the cottage and the street. Their role in defining the streetscape shall be adapted in new construction.

Rhythm of Solid Spaces and Openings of Windows and Doors

The spacing and proportion of windows, doors, and porches is essential to the design character of the Park. These relationships set a pattern that is dominant on the front façade of the cottages. This ratio of openings to solid wall needs to be maintained.

Roof Shape

The roof shapes shall be visually compatible with the cottage style and with the adjacent cottages. Though there are several types of roofs in the Park, most have a steep pitch.

Exterior Features

The related exterior features of a cottage such as driveways, parking areas, sidewalks, and lawns shall be compatible not only with the cottage itself but also with the adjacent properties.

The Park was laid out on a basic grid system of lots that were 40' by 80'. Cottages were set in alignment, facing the street, with narrow yard space between them, creating a rhythm and continuity to the cottages and open spaces. Uniform setbacks for cottages, porches, and walkways shall be maintained as established

by the Preservation Code. This is as critical when viewed from the rear and sides of the structure as from the street. In some areas the back yards of cottages actually face the front porches of cottages across the street.

Open space is a consideration in maintaining the characteristic of a neighborhood. Vistas were designed into the layout of certain areas whether it consisted of views to the river or across the “greens” or up to the Tabernacle. At all times, the views of others shall be considered.

The blue-zoned areas of the Park — see the Zoning Map on page 49 — have greater openness which allows for flexibility of structure massing. Here, low density and larger lots, created by the combination of several lots, allow for a variety of setbacks and massing. Structures are all assessed on a case-by-case basis, yet one shall look at the general characteristics of the area to see what will be compatible on the lots.

NEW CONSTRUCTION

This section applies to new freestanding structures in those areas of the Park where such building is permitted, as well as to large additions to current structures. The style, size, and type of cottage or addition which may be allowed will be dictated by the zoning of the lot/s. In the most historic or red-zoned districts of the Park, construction is either prohibited or severely limited and the most stringent rules apply. The Park does, however, have two other districts that allow for greater flexibility: the yellow-zoned area is a transitional, low-density area allowing some flexibility in design. The blue-zoned areas allow for the most flexibility, depending on the number of building lots. In all cases, the following are general principles to be considered when contemplating a new structure or addition. The zone may be determined by seeing the Zoning Map on page 49.

Each area of the Park has its own characteristics and any new construction will, if allowed, be required to harmonize with the surrounding cottages and spacing. There are strong relationships within districts and among the cottages, and these shall be respected. Since each application is unique, care in design, scale, and spacing is essential to safeguard the character of surrounding cottages, as well as the Park as a whole. When acquiring or purchasing a lot or cottage with the expectation of building or adding to a structure, it is advisable to make the purchase contingent on plan approval by the Preservation Board, the Corporation Board of Directors, and/or municipal authorities.

ADDITIONS

The integrity of the original structure shall be maintained along with original materials and trim. Additions such as bays or other appendages on the main structure shall be well planned and designed. They shall harmonize with the massing, style, and details of the original cottage, as well as with neighboring cottages.

New additions that increase the footprint of the cottage shall respect both the size limitations of the lot, and the original structure and design. Where zoning, space, and original structure permit expansion, the new space shall show a similarity in terms of materials, openings, ornamentation, and design. The goal is to ensure that no addition compromises the original character of either the cottage, streetscape, or district.

WINTERIZING AND YEAR-ROUND LIFE

While there are no specific regulations that apply to the interior of cottages, it shall be noted that ventilation of enclosed heated spaces safeguards the integrity of the structure. Moisture build-up can cause serious damage to wood structures, and adequate venting shall be installed.

Winterizing projects shall not affect the exterior appearance of the cottage. When blown-in insulation is used, the holes shall be covered and painted to match. Under-cottage insulation shall be screened. Enclosure of under-cottage areas may be allowed if solid material is set back at least a foot from the exterior face of the cottage, painted a dark color, and then covered with lattice or appropriate screening set in line with the face of the cottage. The rules for storm doors and windows shall be followed.

DESIGN ELEMENTS AND MATERIALS

The following sections offer guidance on the most fundamental “Acceptable” and “Not Acceptable” elements of cottage renovation and construction. Final approvals are at the discretion of the Preservation Board when permits are granted.

CHIMNEYS AND STOVE VENTING

Wherever possible, original chimneys shall be repaired and restored. New venting shall be discreet and blend into the character of the cottage in placement, material, and size.

Acceptable

- Stone exterior chimneys
- Insulated pipes clad with materials that conform to the cottage and that are of proper size and placement to not detract from the structure
- Less than 4" diameter through-wall venting for exterior vented heaters, on the side or rear of cottage walls

Not Acceptable

- Unclad pipes
- Vents or chimneys in the front plane of the cottage

DECORATIVE TRIM

The variety and inventiveness of the decorative trim found in the Park seem endless. With the arrival of industrialization in America, many decorative parts became mass produced and could be purchased through pattern books. The combination of elements on each cottage shows the imagination of the builders and owners of each cottage. Because of the variations of design, it is difficult to assess changes that owners may want to make to their cottages and, therefore, each shall be examined on an individual basis. There are, however, some general guidelines, and the style of the cottage will dictate the type of ornamentation that is appropriate. The “elements” pages of this Handbook offer visual guidance on appropriate ornamentation. Although many cottages are of the Victorian era, it does not make them candidates for today’s readily available “Victoriana” ornamentation.

Acceptable

- Retention and repair of existing conforming trim
- Replication of original conforming trim in acceptable materials, painted to match the existing
- In cases of severe deterioration or missing trim, application of simplified trim appropriate to the style of the cottage may be acceptable

Not Acceptable

- Removal of trim without replacement by the same type
- Application of trim inappropriate to the style of the cottage
- Masking of trim with other elements such as screening

DOORS — Exterior

The door openings of a cottage are integral to its design, and any alteration affects the entire structure. Doors in the Park usually fall under a few basic types, with the differences being found in their surrounding trim.

Typically, doors are double or single, with combinations of paneling and glazing. The doors to porches on the earliest cottages often function as both windows and doors, with glazing almost to the floor. The appropriateness of these doors can only be judged in relation to the style of the cottage. What would look right on a large Shingle-style cottage would not work on a Campground cottage.

Acceptable

- Maintaining size, shape, proportion, materials, panels, and glazing pattern of original conforming doors
- French doors of appropriate size and materials

Not Acceptable

- Changing the shape of the openings to accommodate stock doors
- Flush doors or flat surface doors

- Contemporary glazing patterns
- Sliding glass doors
- Metal doors

DOORS — Storm and Screen

Acceptable

- Exterior wood storm or screen doors, color-appropriate for the period and color scheme of cottage
- Decorative wood doors if appropriate to the cottage style
- Wood doors with interchangeable glass and screen

Not Acceptable

- Aluminum screen doors
- Colonial-style doors with scalloped upper panel and cross-buck lower panel
- Doors with inappropriate ornamentation for the style of the cottage

GUTTERS AND DOWNSPOUTS

Originally, most cottages in the Park did not have gutters, relying instead on the steep roof slopes and wide overhangs to keep water away from walls and footings. Over time, certain types of gutters have been approved to facilitate drainage.

Acceptable

- Materials: copper, aluminum, or galvanized metal gutters and downspouts painted to match trim
- Shape: half-round preferred, with round leaders
- Metal rain diverters on roof

Not Acceptable

- Polyvinylchloride (PVC)
- Materials not painted to match exterior finish
- “K-style” gutters
- Exposed gutter strapping

PIERS AND FOUNDATIONS

Most cottages in the Park are above ground and built on piers. There are some examples of stone foundations, but these are rare. Almost all foundation openings are faced and covered with lattice, decorative boards, or skirting.

Acceptable

- Stone, wood, concrete, or concrete block piers placed at proper depth to avoid frost damage.
- Foundation opening screened by wood decorative boards, skirting, or framed lattice painted appropriately for the color scheme of the cottage
- Stone foundations of local material such as granite

Not Acceptable

- Open or unscreened foundation openings
- Vinyl or other non-approved materials
- Tar-paper coverings

PORCHES AND RAILINGS

Porches, verandas, or piazzas are almost universal on the cottages of Thousand Island Park. Because the form of most of the cottages is quite simple, the porches often represent the chief stylistic and character-defining element of these cottages, making them an irreplaceable element of the Park. This is the “face” to the street and the neighbors, and still plays an integral role in the interactions of the community.

The variety of ornamentation makes it difficult to establish firm rules about the treatment of projects affecting porches. Retention of historically accurate porches and replacement of deteriorated elements in identical materials and dimensions is required. Alterations or additions shall be appropriate to the style and proportions of the cottage.

Permanent year-round enclosure of porches, especially on the street front, is not acceptable. Any screening

of porches shall be done on the inside or in a manner not to obscure structural elements or ornamentation on the exterior of the cottage.

Floors

Acceptable

- Wood tongue and groove or approved wood flooring materials, stained or painted

Not Acceptable

- Non-approved synthetic decking or other materials
- Concrete or brick flooring

Posts and Columns

Acceptable

- Wood, shingles, or molded concrete block, depending on the style of cottage and original approved materials
- Wood posts, sized and shaped as appropriate for the style of cottage

Not Acceptable

- Brick, concrete, cast iron, aluminum, or other non-approved materials

Ceilings

Acceptable

- Wood tongue and groove or other forms of boarding — painted, oiled or varnished
- Open wood rafters, painted

Not Acceptable

- Sheet rock, masonite, plywood, T-1-11, or vinyl

Railings or Balustrades

The original porches of early cottages in the Park were usually designed more as a veranda or piazza than a porch, having no railings and relating through full-width steps to the ground level. Later porches show such imaginative detailing that it is hard to make fast rules for change or replacement. The principal concern is that these important porch elements be compatible with the overall structure, the historically accurate construction, and the cottage ornamentation.

Acceptable

- Molded and shaped rails of wood, with 30” maximum height
- Turned or jigsawn balusters or spindles of approved size, shape, spacing, and materials

Not Acceptable

- Railings of stock lumber such as 2” x 4” boards
- Baluster or spindle placed in front of or behind rails

Exterior Stairs

Exterior stairs and porch steps need to follow the guidelines for porches and railings.

Acceptable

- Steps that align with the width of the doorway or original porch opening
- Materials: wood boards and approved materials painted or stained to coordinate with the cottage
- Iron pipe rails by permit on a few specific cottages
- Railings and trim to match main structure in design, with material painted to coordinate

Not Acceptable

- Stairs too narrow for the opening
- Non-approved materials
- Exterior fire escapes or upper level entrances on non-commercial buildings

ROOFS

Most roofs were originally covered with wood shingles or standing seam metal. Few wood roofs have survived but there are still some good examples of standing seam metal roofing. Today’s roofs are primarily covered with asphalt shingles, in colors approved by the Preservation Board.

Acceptable

- Mineral fiber roofing
- Asphalt shingles
- Metal roofing, standing seam
- Rubber roofing on flat or low-pitched roofs

Not Acceptable

- Non-approved roofing materials
- Asphalt shingles in colors not approved by the Preservation Board

SHUTTERS

Shutters are either a part of the design itself or added to enclose the window and door openings in winter.

Acceptable

- Historically appropriate wood shutters at least 1” thick that cover the window or door opening when closed
- Shutters affixed to window or door frames with appropriate hardware

Not Acceptable

- Stock-size shutters not sized to window or door opening
- Aluminum, vinyl, or other non-approved material
- Shutters affixed to siding

SIDING

With the exception of a few, pre-Preservation Code cases of artificial siding, most cottages are of wood frame construction clad with cove/novelty siding, clapboard, board and batten, or wood shingles. Properly maintained and protected from moisture, wood is an effective and durable siding material. Wood provides distinctive qualities of texture and shadow lines difficult to replicate in synthetic siding. For these reasons, the Preservation Board prohibits the use of vinyl or aluminum siding except for matching repairs to pre-existing synthetic siding.

Acceptable

- Replicating the form, profile, and dimensions of the original siding material
- Maintaining the style and dimensions of related trim such as sill boards, corner boards, cornices, and crown moldings on windows and doors

Not Acceptable

- Changing the existing form, profile, or dimensions of approved existing siding
- Aluminum, vinyl or non-approved material

SKYLIGHTS AND SOLAR TUBES

These were never original to the Park but are permitted under certain circumstances.

Acceptable

- Flat skylights or solar tubes close to the roof plane and not visible on the front roof plane or the street façade

Not Acceptable

- Skylights that extend above the roof surface beyond the attachment height recommended by the manufacturer
- Skylights or solar tubes on the front roof plane or street façade

STAIRS

Exterior stairs and porch steps need to follow the guidelines for porches and railings.

WINDOWS

The windows of a cottage are integral to its design, and any alteration affects the entire structure, as viewed from both inside and out. Windows in the Park usually fall under basic types, with the differences being found in their sash and glazing configuration and surrounding trim.

Double-hung windows, which are generally rectangular with two-over-two sashes, are the most common

form found in the Park. Some styles will incorporate more ornamentation in the upper sash with multi panes over single-pane sashes. Bay windows are found on several styles of cottages and may be rounded or rectangular. Usually the form of the bay is carried down to the foundation, though some may be cantilevered. Bays have sash windows, often accompanied by decorative panels below the windows.

Acceptable

- Maintaining the size, shape, proportion, and glazing pattern of the original conforming windows
- Adding wood windows appropriate in form, style, and rhythm

Not Acceptable

- Changing the size or shape of the opening to accept stock-size windows
- Installing sash with inappropriate division of panes
- Snap-on grills/muntins
- Picture windows
- Pre-fabricated bay windows
- Untrimmed windows
- Windows with trim inappropriate for the cottage style

WINDOWS — Storm and Screen

Acceptable

- Interior storm windows
- Exterior wood storm or screen windows following the shape of the window and meeting the rail — color-appropriate for the period and color scheme of the cottage
- Aluminum/vinyl-clad, combination storm/screen windows following the shape of the window and the meeting rail — factory-coated or painted with compatible color and trimmed with wood

Not Acceptable

- Stock-size storm windows that require blocking down of openings

LANDSCAPING AND STREETSCAPING

Please note that this list is not all inclusive. At various times, people have requested permission to install hot tubs, garden sculptures, play houses, gym sets, etc. Not all applications can be covered by these guidelines. Any permanent, semi-permanent, or temporary addition to the exterior of a property requires the approval of the Corporation Office and the Preservation Board.

GENERAL LANDSCAPING & STREETSCAPING

Because lots are uniform and narrow, cottages are usually close together and have minimal side yards. Uniform setbacks create a pleasing rhythm from the street. The visual fabric of the Park is created by this streetscape and the vistas provided by these setbacks. In all cases, care needs to be taken that plantings do not block neighbors' views or otherwise disrupt the fabric of the street.

AIR CONDITIONING UNITS AND HEAT PUMPS

Some cottages keep cool and comfortable during the summer thanks to the breezes off the River, and others are located in areas where the air does not seem to move. Window units are not attractive, yet they are removable without causing harm to the cottage and are therefore allowed. In all cases, it shall be remembered that neighbors who may be only a few feet away may prefer to have their windows open and will not appreciate hot air and noise.

Acceptable

- Window units that are detachable

Not Acceptable

- Through-wall units
- Loud air-conditioning units
- Full-house, exterior-compressor air conditioning and/or heat pumps, except with a permit which will be contingent on neighborhood and community impact

DECKS AND PATIOS

Refer to Preservation Code.

DRIVEWAYS AND PARKING AREAS

Driveways were nonexistent historically, yet today we need to deal with the increased number of vehicles brought into the Park. The rule is a maximum of two vehicles overnight per cottage, with overflow cars placed in lots provided by the Corporation. Where the cottage has additional lots that would allow for more parking, the Corporation may agree to allow more vehicles — however, this is done on a case-by-case variance basis and shall be applied for at the Corporation Office.

Acceptable

- Parking in approved spaces along the side or rear of the property
- Width in scale with the main structure
- Crushed stone or gravel of a natural brown or gray color
- Stone or concrete pavers with grass infill

Not Acceptable

- Parking in front of cottages
- Driveways greater than two-car width
- Driveways or parking areas out of scale with the cottage
- Asphalt paving, white rocks, bricks, or materials other than stone, gravel, or concrete pavers

FENCES AND HEDGES

Fences or hedges are seldom allowed, except occasionally for screening purposes, and each application is decided on a case-by-case basis.

Acceptable

- Wood fences used for screening fuel tanks, air conditioning condensers, or other storage areas
- With a special permit, hedges under four feet at maturity that do not obstruct sidewalks, roadways, or other setbacks — and that do not mar or block River views — may be allowed.

Not Acceptable

- Front-yard fencing
- Masonry walls
- Post-and-rail, vertical board, stockade, or wrought iron fencing

FUEL TANKS — Exterior

Acceptable

- Tanks mounted inconspicuously on the side or rear of the cottage and painted or screened

Not acceptable

- Tanks sitting to the side of cottage and uncovered

GARAGES AND CARPORTS

Refer to Preservation Code.

LIGHTING

Traditionally, the lighting in the Park comes from the street lamps and the ambient lighting from the cottages. Permanent exterior lighting is discouraged but will be permitted for safety reasons when approved by the Corporation.

Acceptable

- Low-wattage, plain exterior lights attached to the structure, over stairs and back doorways

Not Acceptable

- Free standing lights along walkways, driveways, sidewalks, or yards
- Stair-riser or deck-perimeter lights
- Large-wattage lights or bare bulbs

SATELLITE DISH ANTENNAS AND OTHER TV OR RADIO ANTENNAS

Acceptable

- Dish antennas not exceeding 18" when mounted, where visual impact from the street is minimal
- Roof antennas which do not impact the streetscape and are approved

Not Acceptable

- Dish antennas exceeding 18"
- Ground TV or ground satellite dishes

SHEDS

Needs for storage vary over time and sheds have occasionally been permitted in the Park. They are discouraged, however, since they greatly affect the open spaces and flow created by the lot grid of the Park. When permitted, sheds shall comply with regulations for new construction in placement, size, material, and design for that area of the Park.

SIDEWALKS, WALKWAYS, AND PERIMETERS

Walkways in the Park were initially of either wood boards or packed dirt. At the turn of the 20th century, concrete sidewalks were installed.

Acceptable

- Poured-in-place concrete walks of appropriate width
- Wood, crushed stone of natural brown or gray color, gravel, or gray concrete square or rectangular, natural-colored pavers, or flat stone and grass walkways

Not Acceptable

- Brick walkways or sidewalks
- Any walkways wider than 48"
- Sidewalks and walkways higher than 6" above ground level

SIGNS

Nameplate identification and house numbering signs, including signs indicating the age of a cottage, can be placed on the front of the structure. Freestanding signs are not allowed for non-commercial use in the Park. Commercial signage is controlled by the Corporation Board of Directors.

Credits, Dedication, and Publishers

CREDITS

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Steve LaBuzetta — Advisor to the Thousand Island Park Preservation Board

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Drawings Layout: Jean Ris

DEDICATION

This Thousand Island Park visual handbook is dedicated to all who have participated daily, by thought and deed, to protect and preserve this vital historic community for future generations. Special gratitude goes to the late Susan Testa Turri and Paul Malo, whose intelligent, creative thoughts are ever present in this important document.

Special thanks to all current and former Board Members of the Thousand Island Park Landmark Society, the Thousand Island Park Corporation, and the Thousand Island Park Preservation and Architectural Review Board who have shown ongoing commitment and contributions to this project.

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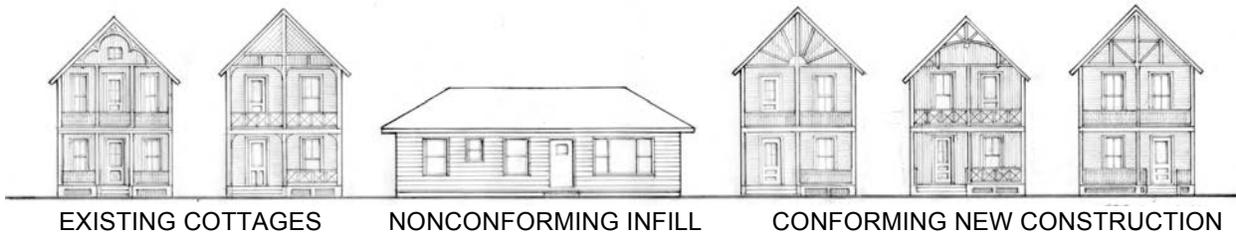
**Thousand Island Park
Landmark Society**



**Thousand Island Park
Corporation**

Lot Coverage, Scale, and Massing

Front Elevations



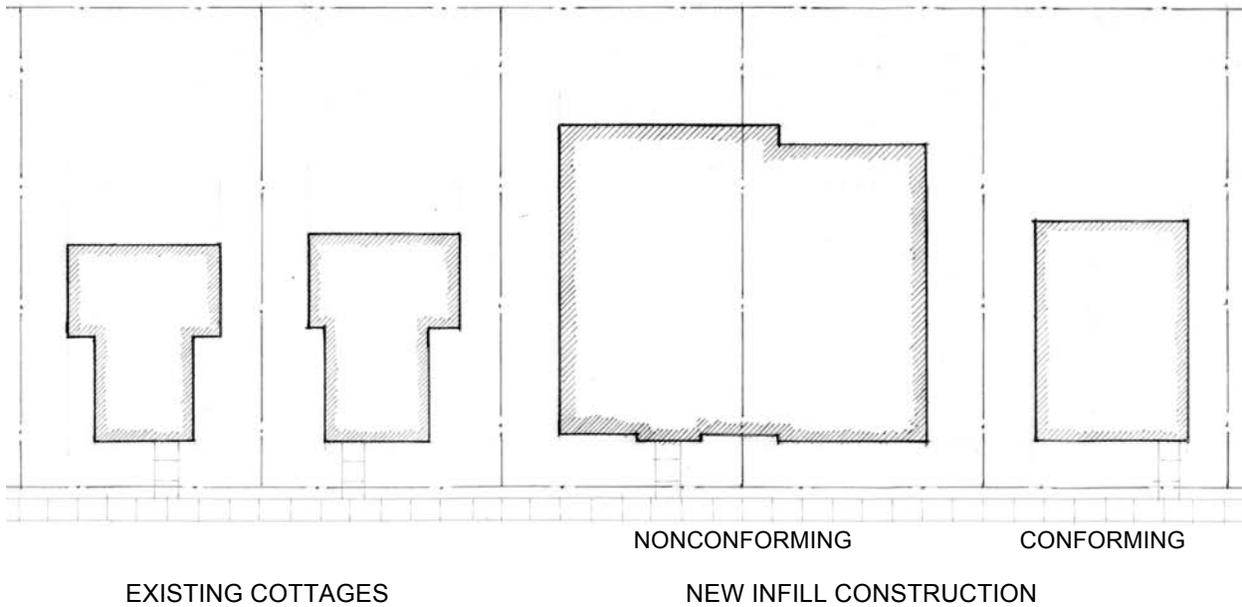
NOTES:

- HORIZONTAL PROPORTIONS OF THE NONCONFORMING STRUCTURE BREAK THE VISUAL UNITY AND SCALE OF THE STREET.
- VERTICAL PROPORTIONS OF THE CONFORMING NEW INFILL CONSTRUCTION HARMONIZE WITH EXISTING COTTAGES.

Front Elevations



Site Plan

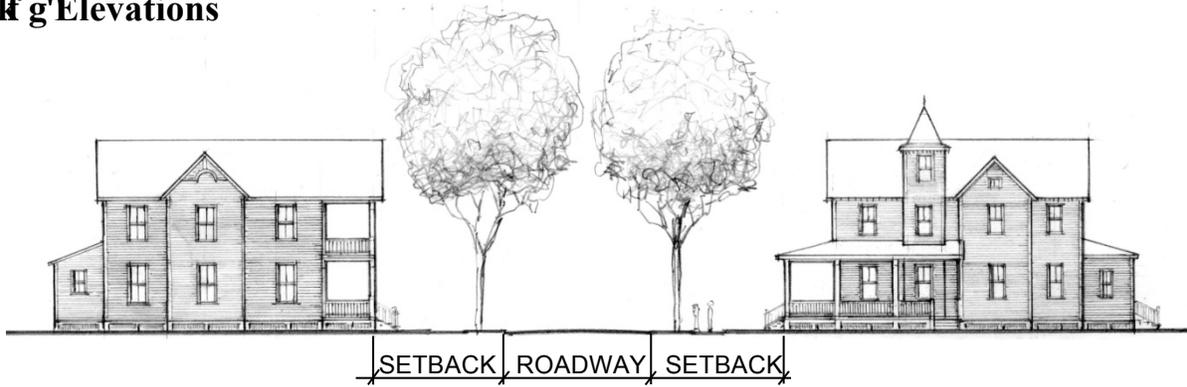


NOTES:

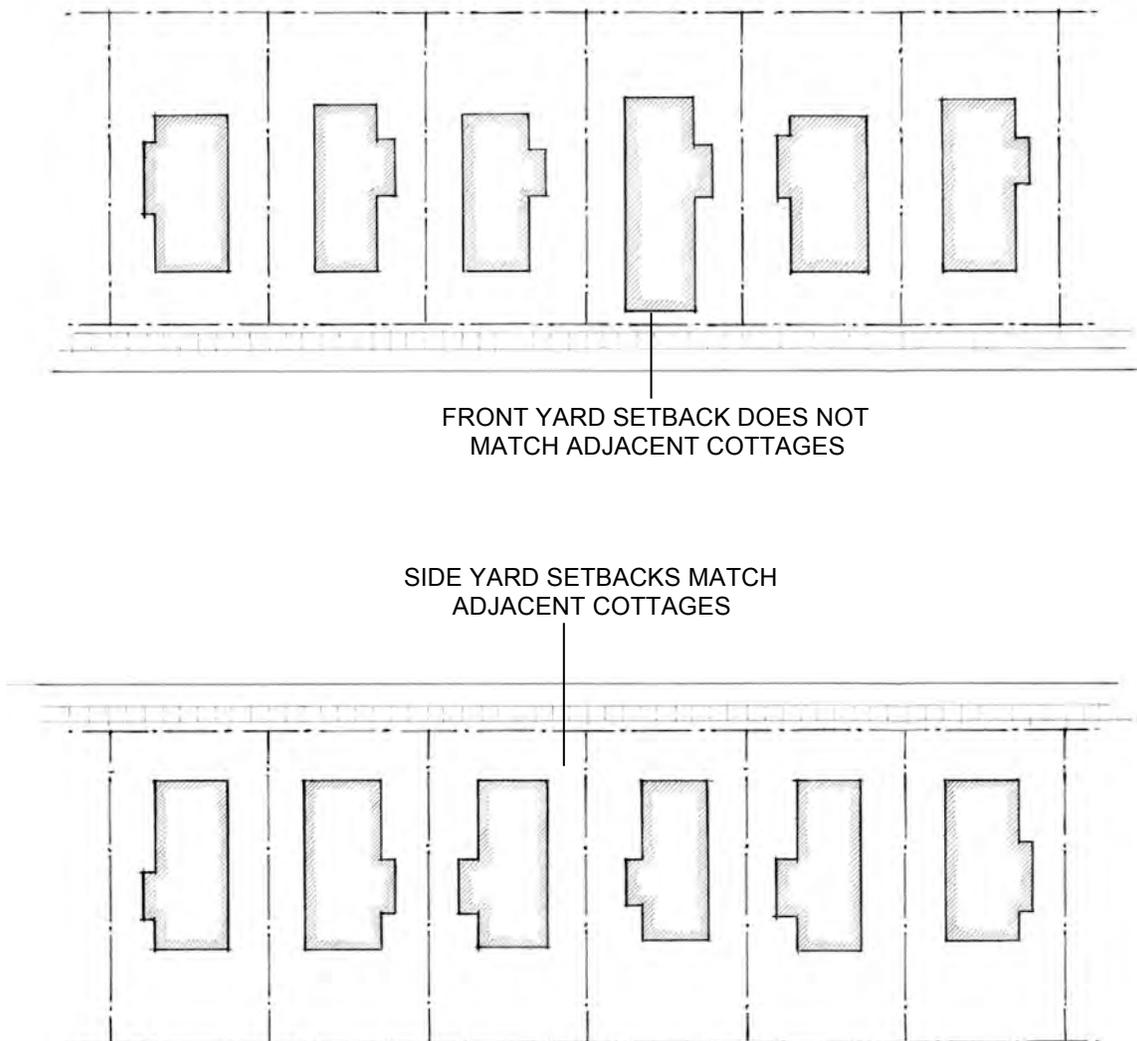
- THE NONCONFORMING STRUCTURE HAS A LARGER FOOTPRINT AND DOES NOT HARMONIZE WITH THE SCALE AND MASSING OF ADJACENT COTTAGES.
- THE FOOTPRINT OF THE NONCONFORMING STRUCTURE EXCEEDS THE 1,600 SQUARE-FOOT MAXIMUM FOR THOUSAND ISLAND PARK.

Front and Side Yard Setbacks

Uf g'Elevations



Site Plan



Railing Heights and Roof Lines

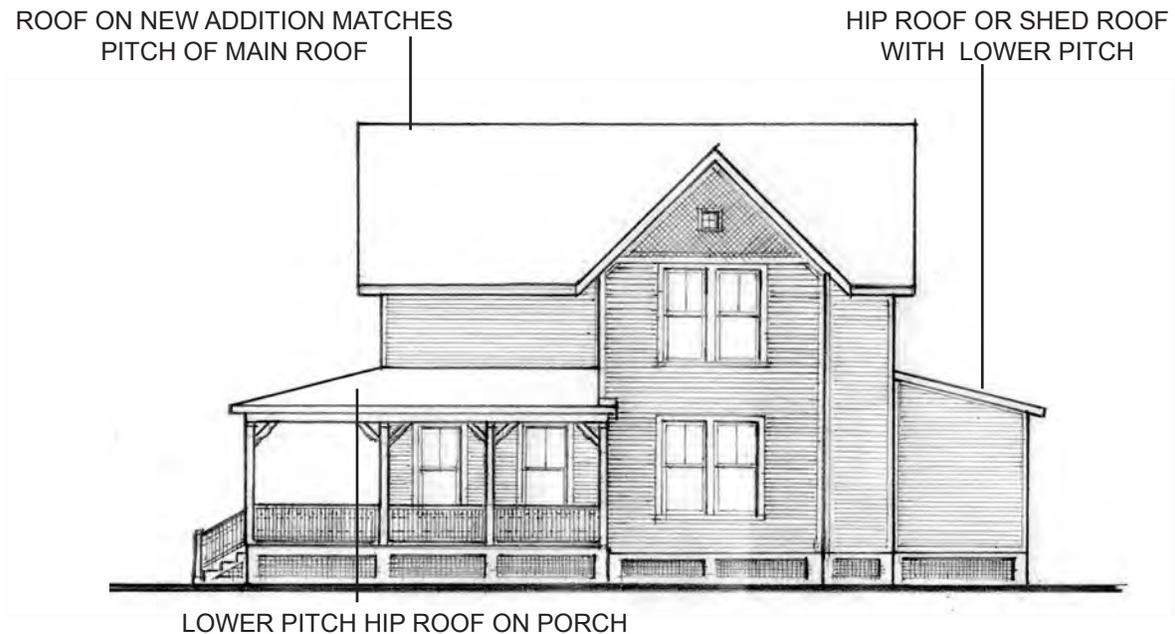
Railing Heights - All Cottage Styles



NOTES:

- RAILINGS ON COTTAGES IN THOUSAND ISLAND PARK ARE TYPICALLY 22" TO 30" IN HEIGHT.
- RAILING REPAIRS AND/OR REPLACEMENTS ON EXISTING BUILDINGS SHOULD MATCH THE CHARACTER AND DIMENSIONS OF THE EXISTING RAILINGS.
- THE MAXIMUM RAILING HEIGHT ON NEW INFILL CONSTRUCTIONS IS 30".

Roof Lines - Side Elevation



NOTES:

- THE ROOF PITCH ON THE MAIN BODY OF THE STICK STYLE COTTAGE IS TYPICALLY 12 OVER 12.
- ROOFS' SECONDARY ELEMENTS SUCH AS PORCHES AND SHEDS FORMING ADDITIONS HAVE A SHALLOWER PITCH.
- ROOFS ON TOWERS TYPICALLY HAVE A STEEPER PITCH THAN THE MAIN ROOF.
 - THE MAIN ROOFS ON SOME STICK STYLE COTTAGES IN THOUSAND ISLAND PARK HAVE A COMPOUND ROOF PITCH, WITH THE UPPER PORTION OF THE ROOF HAVING A STEEPER PITCH THAN THE LOWER PART.

Additions to Campground Cottages

Front Elevations with T/Shaped Additions



EXISTING
COTTAGE

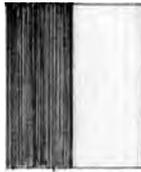


ADDITION WITH
NONCONFORMING ROOF

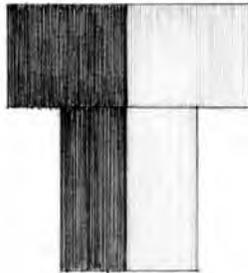


ADDITION WITH
CONFORMING ROOF

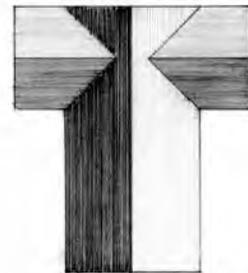
Roof Plan



EXISTING
COTTAGE



ADDITION WITH
NONCONFORMING ROOF



ADDITION WITH CONFORMING
CROSS GABLE ROOF

Front Elevations with Extruded L/ and T/Shaped Additions



EXTRUDED ADDITION

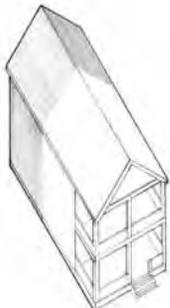


L-SHAPED ADDITION

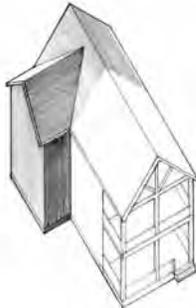


T-SHAPED ADDITION

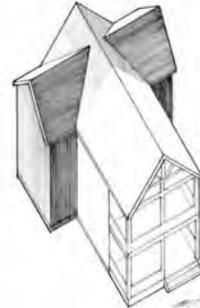
Axonometric Drawings for Conforming Additions



EXTRUDED ADDITION



L-SHAPED ADDITION



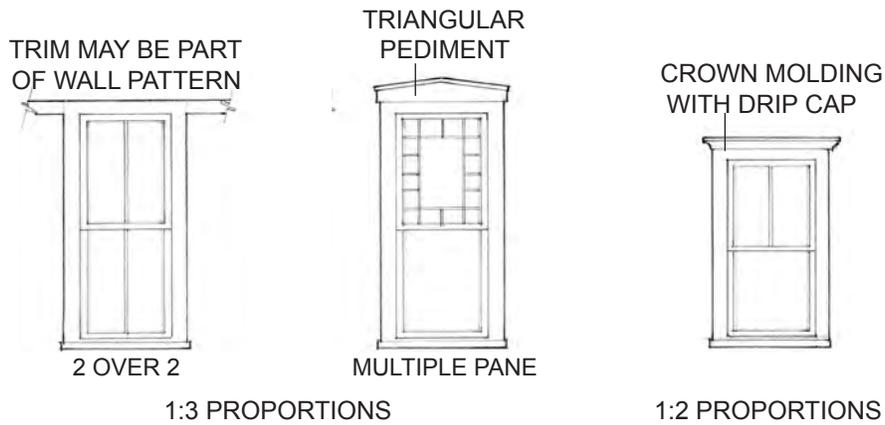
T-SHAPED ADDITION

Windows on Campground Cottages

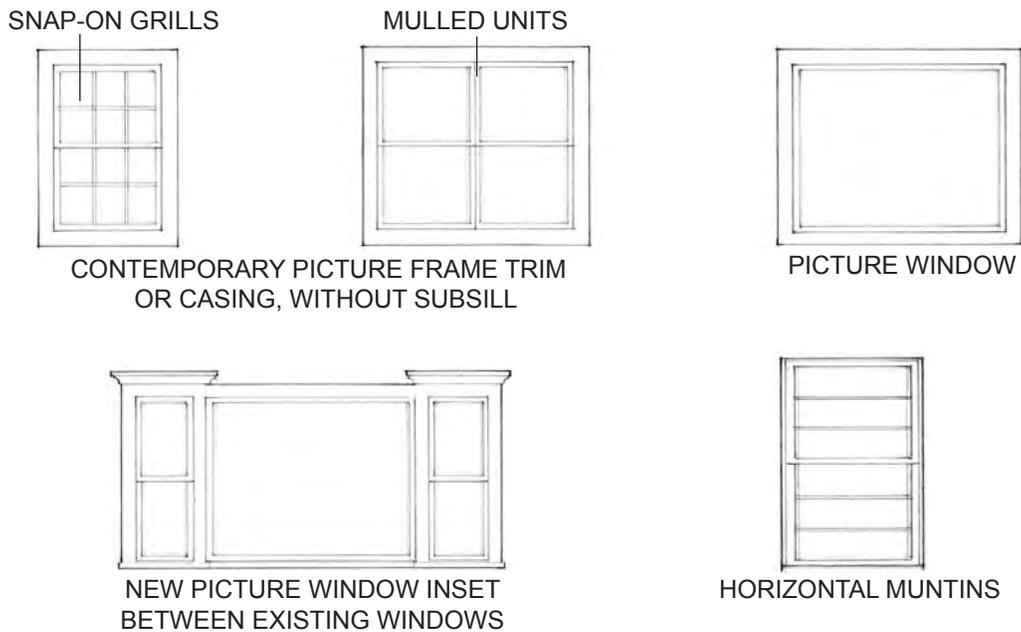
Front Elevations



Conforming Windows



Nonconforming Windows



Additions to Queen Anne Cottages

Front Elevations



EXISTING COTTAGE

CONFORMING
ADDITION

NOTES:

- THE ROOF LINES, SIDING, AND WINDOW PROPORTIONS HARMONIZE WITH EXISTING COTTAGE.
- TYPICALLY, THE WIDTH OF WINDOWS ON QUEEN ANNE COTTAGES IS WIDER THAN ON STICK COTTAGES.



NONCONFORMING
ADDITION

EXISTING COTTAGE

NOTES:

- THE ROOF LINE, SIDING, WINDOWS, WINDOW TRIM, AND SIDING ON THE ADDITION DO NOT MATCH THE CHARACTER AND PROPORTIONS OF THE EXISTING STRUCTURE.

Windows on Queen Anne Cottages

Front Elevation

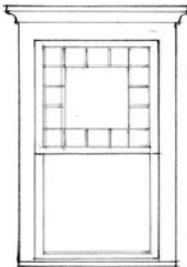


NONCONFORMING WINDOWS

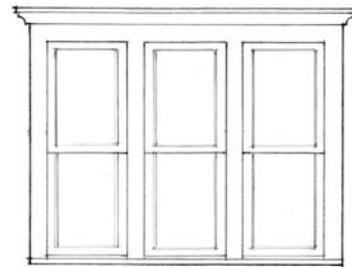
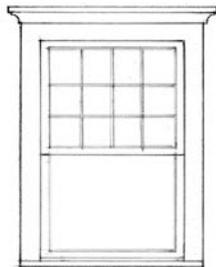


CONFORMING WINDOWS

Conforming Windows



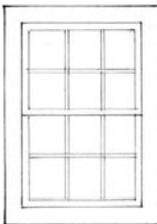
MULTIPLE PANES ON UPPER SASH



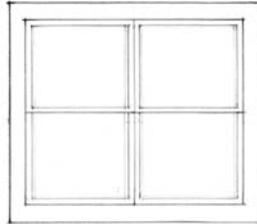
GROUPS OF 2 OR 3

Nonconforming Windows

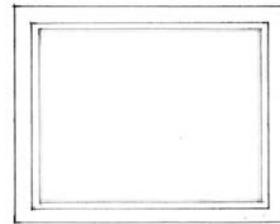
SNAP-ON GRILLS
NOT PERMITTED



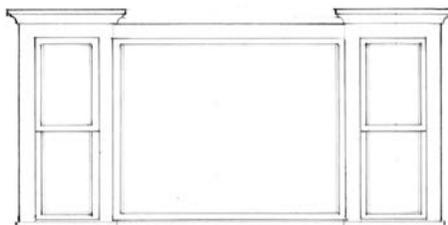
MULLED UNITS



PICTURE WINDOW



CONTEMPORARY PICTURE FRAME TRIM
OR CASING, WITHOUT SUBSILL



NEW PICTURE WINDOW INSET
BETWEEN EXISTING WINDOWS



HORIZONTAL MUNTINS

Additions to Shingle Style Cottages

Front Elevations



EXISTING COTTAGE

CONFORMING
ADDITION

NOTES:

- THE ROOF LINES, SIDING, AND WINDOW PROPORTIONS ON THE ADDITION HARMONIZE WITH THE EXISTING COTTAGE.



EXISTING COTTAGE

NONCONFORMING
ADDITION

NOTES:

- THE ROOF PITCH AND SIDING ON THE ADDITION DO NOT MATCH THE CHARACTER AND PROPORTIONS OF THE EXISTING STRUCTURE.
- NONCONFORMING WINDOWS ON ADDITION: THE VERTICAL PROPORTIONS DO NOT RELATE TO THE WINDOWS ON THE EXISTING COTTAGE.

Windows on Shingle Style Cottages

Front Elevations



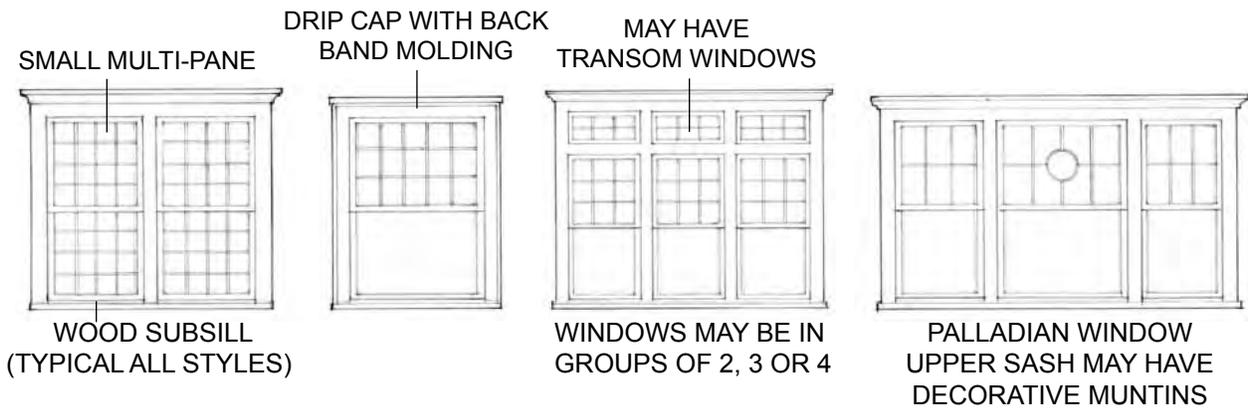
MULLED OR PICTURE WINDOW
NONCONFORMING WINDOWS



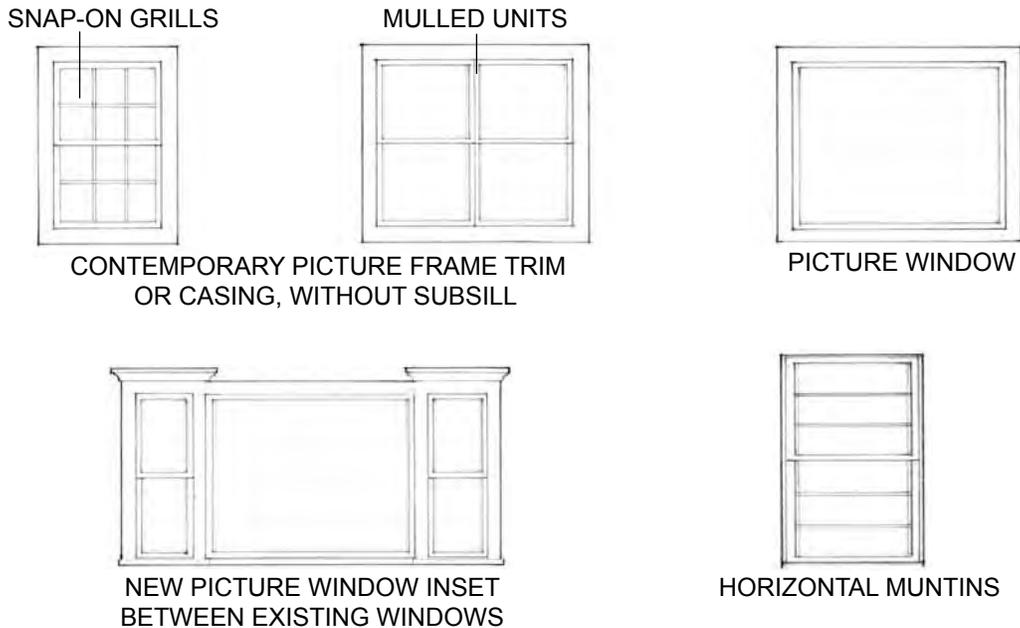
HORIZONTAL BANDS OF DOUBLE-HUNG WINDOWS
CONFORMING WINDOWS



Conforming Windows



Nonconforming Windows



Additions to Craftsman Bungalow Cottages

Elevations — Existing Cottage



NOTES:

- THE MAIN ROOF HAS A STEEPER PITCH.
- THE DORMER IS A SECONDARY ELEMENT AND IT HAS A SHALLOWER ROOF PITCH.

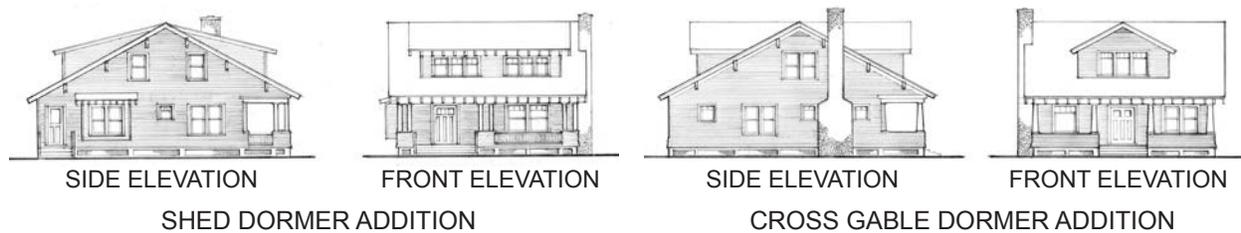
Elevations — Nonconforming Second Floor Additions



NOTES:

- THE ROOF LINES DO NOT HARMONIZE WITH THE FORMER DORMER OR EXISTING COTTAGE.
- THE MASSIVE SCALE OF THE ADDITION OVERWHELMS THE EXISTING COTTAGE.

Elevations — Conforming Second Floor Additions



NOTES:

- THE ROOF LINES HARMONIZE WITH THE FORMER DORMER OR EXISTING COTTAGE.
- THE SCALE OF THE ADDITION DOES NOT OVERWHELM THE EXISTING COTTAGE.

Windows on Craftsman Bungalow Cottages

Side Elevation



PICTURE WINDOW

YEAR-ROUND ENCLOSED PORCH

NONCONFORMING WINDOWS

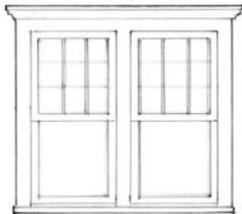
WINDOWS GROUPED TOGETHER

SCREENED PORCH

CONFORMING WINDOWS

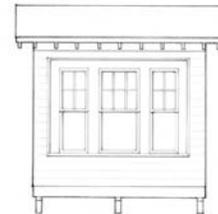
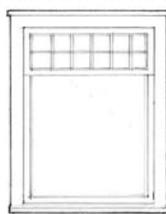
Conforming Windows

CROWN MOLDING WITH DRIP CAP



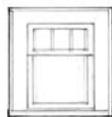
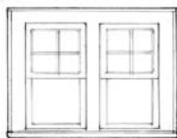
MAY BE IN GROUPS OF 2,3 OR 4

MAY HAVE SMALL PANES IN TOP SASH

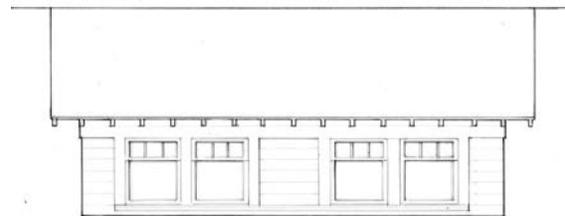


BOX BAY WITH PALLADIAN WINDOW

MAY HAVE BACK BAND MOLDING AT HEAD OF JAMB



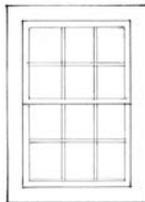
SMALLER UNITS IN KITCHENS, BATHROOMS AND ON STAIR LANDINGS



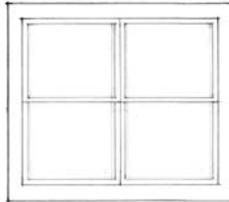
SHED DORMER

Nonconforming Windows

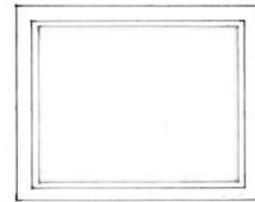
SNAP-ON GRILLS



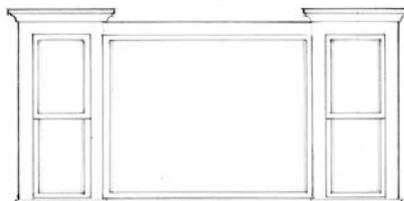
MULLED UNITS



CONTEMPORARY PICTURE FRAME TRIM, OR CASING, WITHOUT SUBSILL



PICTURE WINDOW



NEW PICTURE WINDOW INSET BETWEEN EXISTING WINDOWS



HORIZONTAL MUNTINS

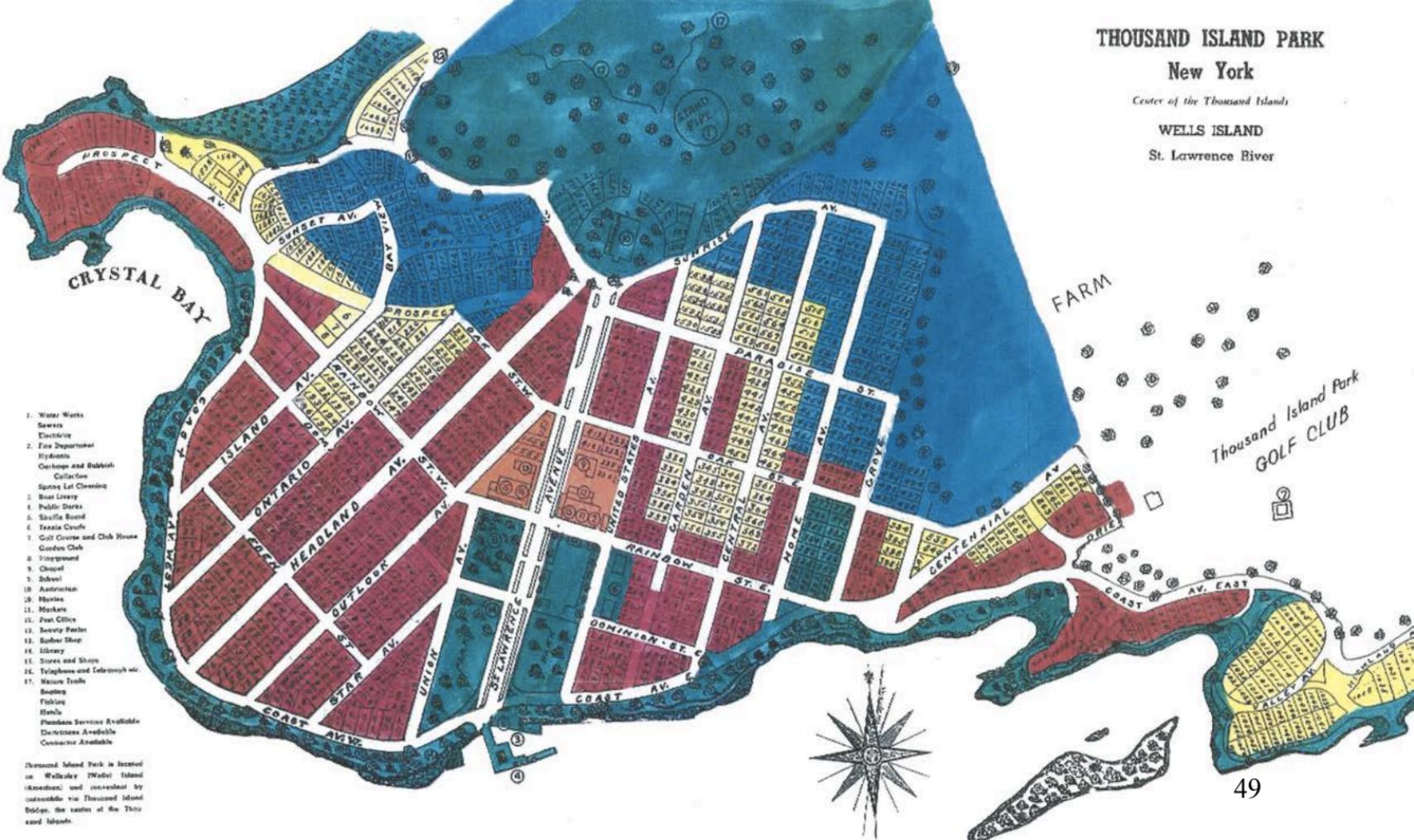
THOUSAND ISLAND PARK

New York

Center of the Thousand Islands

WELLS ISLAND

St. Lawrence River



- 1. Water Works
- 2. Sewer
- 3. Electric
- 4. Fire Department
- 5. Hygiene
- 6. Garage and Rabbit
- 7. Collection
- 8. Spring Lot Cleaning
- 9. Boat Livery
- 10. Public Docks
- 11. Sailing Board
- 12. Tennis Courts
- 13. Golf Course and Club House
- 14. Country Club
- 15. Veterinary
- 16. Chapel
- 17. School
- 18. Restaurant
- 19. Movies
- 20. Markets
- 21. Post Office
- 22. Beauty Parlor
- 23. Barber Shop
- 24. Library
- 25. Stores and Shops
- 26. Telegraph and Cablegram
- 27. News Desk
- 28. Boating
- 29. Fishing
- 30. Hotels
- 31. Pleasure Services Available
- 32. Diseases Available
- 33. Concerts Available

Thousand Island Park is located on Wells Island (American) and connected by automobile via Thousand Island Bridge, the center of the Thousand Islands.

Thousand Island Park
GOLF CLUB